



Contractor



DRAGADOS | AMERICAN BRIDGE INTERNATIONAL
HOCHTIEF | MORRISON CONSTRUCTION

Project **FORTH REPLACEMENT CROSSING**

Document title

AGRICULTURAL MANAGEMENT PLAN

Rev	Rev. Date	Purpose of revision	Made	Checked	Approved
04	25/01/16	Updates to appendix 5	MRN	SWR	CGR
03	14/07/14	Reference to Appendix 5 inserted.	SSN	LSN	LSN
02	12/10/13	Programme of accommodation works added to Appendix 5	ESE	NAM	NAM

Document status

FOR REVIEW

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Initials: NAM	Initials: ESE

Document number	Rev
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AGRICULTURAL MANAGEMENT PLAN

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1 INTRODUCTION

- 1.1.1 This Agricultural Management Plan details how agricultural land will be protected from damage during the construction phase, and how any adverse effects on agricultural resources can be limited and contained as far as reasonably practicable.
- 1.1.2 FCBC have appointed a Landscape Clerk of Works who is responsible for implementing the environmental elements of procedures in the plan and a Community Liaison Officer (Land Agent) who is responsible for liaising with affected landowners, occupiers and agents, as appropriate.

2 SCOPE

2.1.1 The Agricultural Management Plan includes:

- Maps showing Agricultural Land Use (*'Agricultural Land Use'* Maps. Jacobs/ARUP, 2009) are included in Appendix 1.
- Maps showing watercourses are shown in Figure 1 (these are an extract from the *'Water Features'* Map, Jacobs/ARUP, 2009, which is included in Appendix 2). These are also included on the Environmental Constraint Drawings, Appendix 1 of the Area Management Plan.
- Details of the husbandry associated with the areas of farms adjacent to the construction site (maps showing details of land husbandry can be found in Appendix 3).
- Procedures to be adopted for the appropriate protection of agricultural land adjacent to the construction site, including information regarding appropriate stock-proof fencing to be provided and maintained.
- Procedures to be adopted to undertake survey works to record the condition of existing agricultural land which may be used temporarily during construction, including agricultural land quality and land drainage, as appropriate.
- Procedures to be adopted for the reinstatement of any agricultural land which is used temporarily during construction.
- A programme indicating when temporary occupation of agricultural land will be taken and when any agricultural land used temporarily is intended to be returned to agricultural use. This information is available in the Temporary Land Made Available Register (Appendix 4).
- Procedures to be adopted in relation to the provision of accommodation works.
- Details of accesses which may be affected by construction, including the procedures to be implemented to maintain access.
- Procedures to be followed in relation to the stripping, handling, storage and replacement of topsoil on areas of land to be returned to agricultural use following construction.

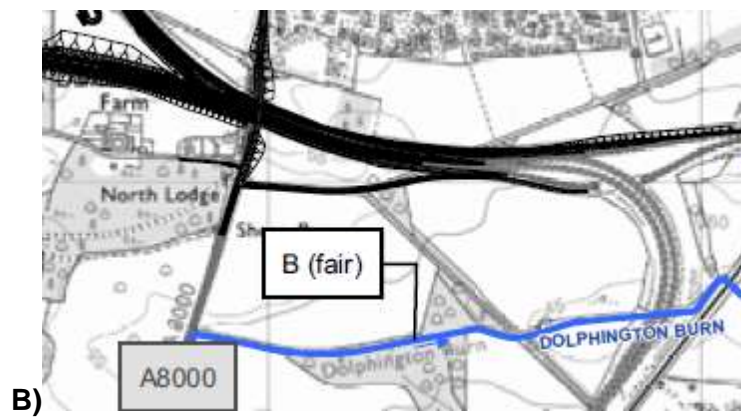
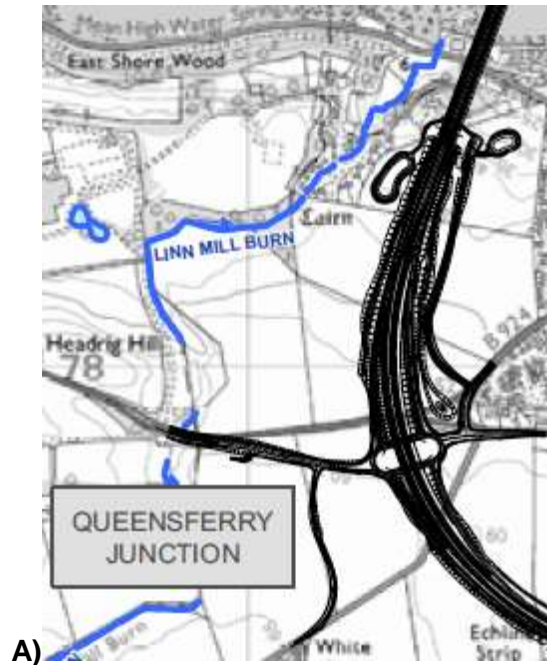


Figure 1: Maps showing locations of the watercourses

a) Linn Mill Burn and b) Dolphington burn

These have been taken from the 'Water Features' Map, Jacobs/ARUP (2009)

3 MITIGATION OF POTENTIAL IMPACTS ON AGRICULTURAL RESOURCES

- 3.1.1 FCBC will advise landowners, occupiers and agents, as appropriate, regarding the intended commencement of construction works in areas of the site adjacent to agricultural holdings. This will be undertaken by the Land Agent appointed by FCBC. FCBC will also liaise with landowners, occupiers and agents, as appropriate, regarding the provision of accommodation works to agree the programme of works and access routes to be used.
- 3.1.2 FCBC discuss accommodation works on an individual basis with landowners. A programme of accommodation works is appended to this document (Appendix 5).
- 3.1.3 With regard to access routes, management is agreed on an individual basis. The majority of access routes are already in operation, however where further access routes are required the appropriate liaison will be undertaken by FCBC with the local authorities, the traffic management working group and with land owners. FCBC will take reasonable precautions in developing the construction programme to reduce disturbance, without detriment to the overall construction programme.
- 3.1.4 FCBC will implement appropriate measures in accordance with guidance produced by the Scottish Government Rural Payments and Inspections Directorate (formerly the Scottish Executive Environment and Rural Affairs Department (SEERAD)) in relation to undertaking works on or adjacent to agricultural land. Relevant guidance covering measures associated with soils erosion, soil organic matter, soil structure and minimum level of maintenance includes:
- The code of good practice – Prevention of Environmental Pollution from Agricultural Activity (commonly known as the PEPFAA Code);
 - Good Agricultural and Environmental Condition measures for Scotland (GAEC); and
 - The Scottish Soil Framework Consultation Document.
 - FCBC will also implement appropriate measures in accordance with the Code of Good Agricultural Practice – Protecting our Water, Soil and Air in 2009 published by the Department for Environment, Food and Rural Affairs (DEFRA).
- 3.1.5 Prior to works commencing on agricultural land which will be used temporarily or land which will be returned to agricultural use following construction, the contractor will undertake surveys to record the existing quality of land, including the condition of the following, as appropriate:
- Topsoil and subsoil.
 - Drainage.
 - Roads, accesses and paths.
 - Forestry.
 - Agricultural land adjacent to the construction site.
- 3.1.6 FCBC will implement appropriate procedures in relation to the stripping, handling, storage and replacement of agricultural soils to mitigate risks associated with soil degradation. FCBC will undertake reinstatement of land used temporarily for construction in accordance with the requirements of the Forth Crossing Bill (see 3.1.12).

- 3.1.7 FCBC will take precautions in relation to storage of agricultural soils, including the following, as appropriate:
- Handling and storing different soils separately, particularly top soils and sub soils.
 - Taking appropriate measures to prevent contamination of soils with chemicals or other materials.
 - Undertaking turf cutting in dry weather and ground conditions, where reasonably practicable to avoid damaging the soil through compaction or loss of soil by erosion.
- 3.1.8 FCBC will take reasonable precautions in the design and construction of the Project to identify, protect and maintain existing land drainage systems.
- 3.1.9 FCBC will take appropriate measures to prevent the spread of invasive and alien species (see Ecological Management Plan).
- 3.1.10 FCBC will comply with the requirements of the Scottish Government Rural Payments and Inspections Directorate and appropriate guidance to avoid, as far as possible, the spread of soil borne, crop and animal diseases. The contractor will implement appropriate measures to control run-off to reduce any risks associated with disease transmission.
- 3.1.11 FCBC will take reasonable precautions to identify locations of carcass burial sites within the construction site to mitigate risks associated with the existence of any unrecorded sites.
- 3.1.12 FCBC will liaise with landowners, occupiers and agents, as appropriate, to establish requirements and measures to be implemented to maintain livestock water supplies which may be affected due to construction works.

3.1.13 Prior to temporary occupation of agricultural land a detailed consultation will take place with the landowners and the method, timing and details of reinstatement will be agreed prior to occupation on an individual basis. All reinstatement works shall be undertaken in accordance with the Specification and to the satisfaction of the Employer and the landowner. The general procedure for reinstating agricultural land which is used temporarily during construction will be as follows:

- Photographic record of agricultural land to be used.
- Testing of topsoil prior to removal.
- Removal of topsoil, ensuring it is stored appropriately.
- Storage of subsoil separately.
- Where field drains are encountered, a survey will be undertaken to ensure that they are repaired and continue to run so that the drainage system is unchanged.
- Grading to appropriate levels to allow for cultivation, seeding and future maintenance as agricultural land, in accordance with the approved design.
- Replacement of subsoil such that drainage is not impeded. Where agreed with the Employer, the subsoil will be ripped.
- Replacement of topsoil during suitable weather and ground conditions such that waterlogged conditions are avoided.
- Stone picking and removal of debris, if required.
- Testing of topsoil after replacement.
- Addition of soil ameliorants and slow release fertiliser to make up any nutrient deficiencies as identified from the soil test results undertaken before topsoil removal. Sowing of productive grassland where grassland is to be returned to agricultural use for pasture.
- FCBC will consult with relevant landowners with regard to specific mixes and sowing density on land to be returned to pasture.

3.1.14 The protective fencing to be used will depend upon the location and sensitivity of the area. These protective fencing will take into account other fencing (mammal fencing etc.) that is needed in that area, and will include, not exclusively:

- Heras
- Palisade
- Acoustic Screens
- Visual Screens
- Stock-Proof Fencing

3.1.15 All protective fencing will be monitored for integrity by FCBC throughout the construction phase.

3.1.16 During the continuation of the works a number of different categories of fencing and barriers will be issued for use, the appropriate form of barrier will be chosen with respect to the location and general requirements of the area.

- 3.1.17 FCBC will minimise the occupation of temporary land where possible. However, due to the duration of this contract some areas will be required from the present until completion in order to maintain access. A table of Temporary Land Made Available can be found in Appendix 4, which indicates when temporary occupation of agricultural land will be taken and when any agricultural land used temporarily is intended to be returned to agricultural use. Where temporary land made available is already occupied, the date of entry has been indicated.
- 3.1.18 FCBC will be seeking to complete all accommodation works, such as access fencing and planting, at the earliest opportunity where access and permanent works restrictions will permit. Due to the length of the contract this process may be carried out between the present and completion if access is being taken through temporary land that is to receive accommodation works.
- 3.1.19 Land husbandry details are shown on the 'Agricultural Land Use' maps (Jacobs/ARUP, 2009), as amended by FCBC. These maps can be found in Appendix 3 and show areas of arable land, grassland and woodland.
- 3.1.20 Details on land ownership adjacent to site are held onsite by the Construction Manager and are not included in this plan.

4 MONITORING

- 4.1.1 FCBC will implement monitoring procedures for the storage of materials and protection of the water environment as appropriate (see the Area Management Plan).
- 4.1.2 FCBC will ensure that the Landscape Clerk of Works (see Landscape Management Plan) monitors topsoil stripping, handling and storage as appropriate.
- 4.1.3 FCBC will undertake monitoring as necessary to maintain security of the site to prevent unwanted access to the site from adjoining land.

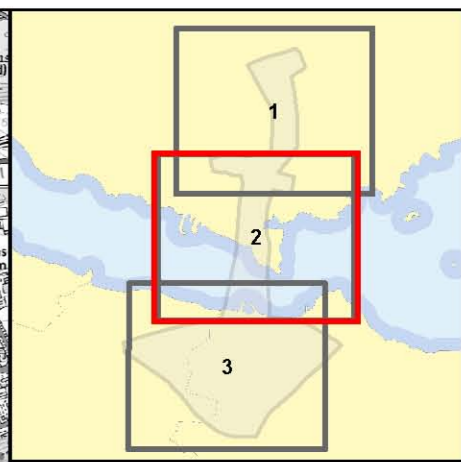
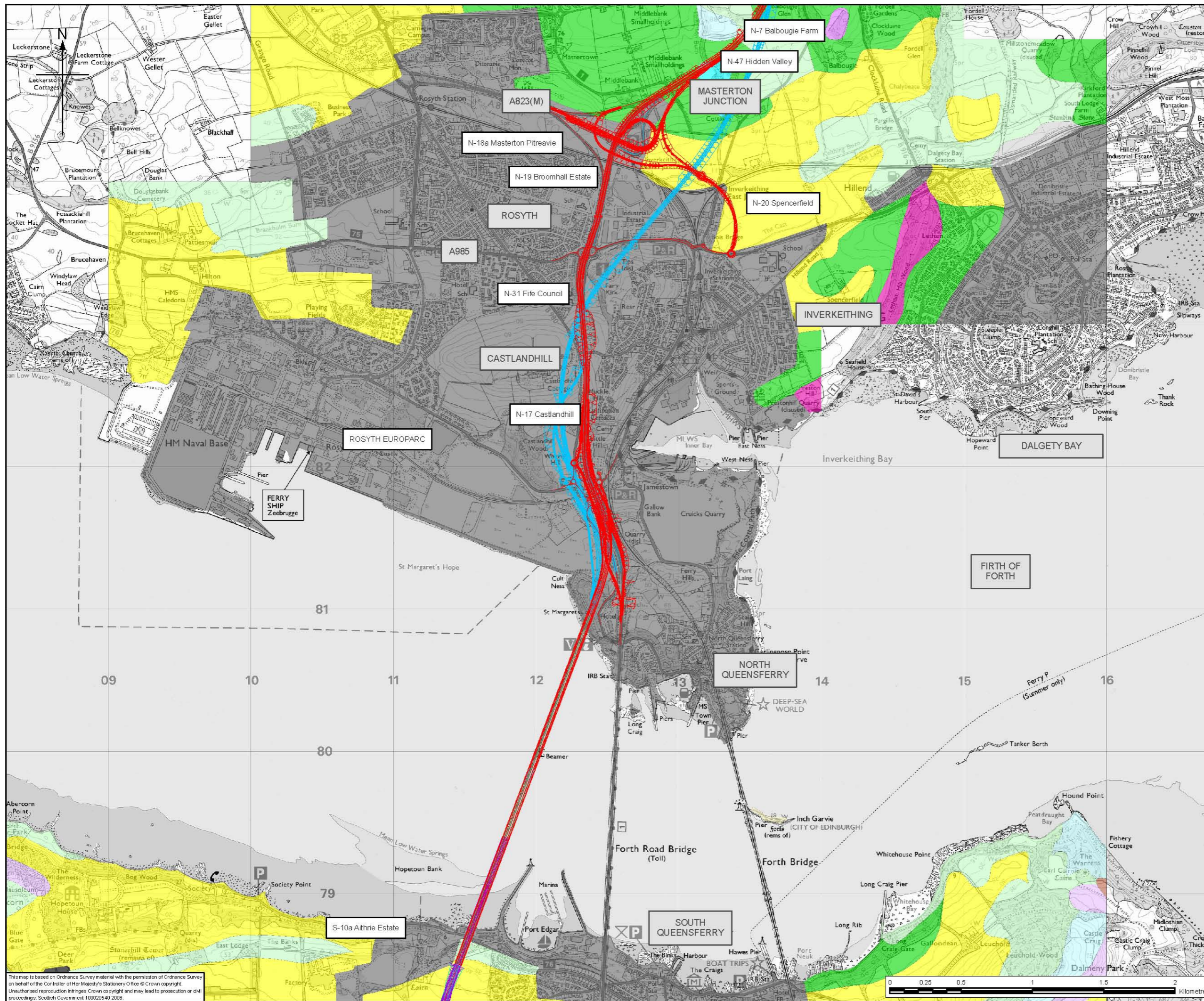
5 REFERENCES

- Code of Good Agricultural Practice for farmers, growers and land managers – Protecting our Water, Soil and Air, Department for Environment Food and Rural Affairs, 2009
- Code of Good Practice – Prevention of Environmental Pollution from Agricultural Activity, The Scottish Executive, 2005
- Cross Compliance Notes for Guidance. (Incorporating Good Agricultural and Environmental Condition), The Scottish Executive, 2005
- Environmental Protection Act 1990, as amended
- Farm Soils Plan, Protecting soils and income in Scotland, The Scottish Executive, 2005
- Scottish Planning Policy 15 [SPP15] Planning for Rural Development
- The Scottish Soil Framework. A Consultation Document, The Scottish Government, 2008
- Forth Replacement Crossing: DMRB Stage 2 Corridor Report: Volume 1, Section 6: Land Use, Jacobs/Arup, 2009
- Environmental Statement, Section 7: Land Use, Jacobs/Arup, 2009
- Environmental Statement, Section 9: Water Environment, Jacobs/Arup, 2009
- Wildlife and Countryside Act 1981, as amended



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Appendix 1 – Agricultural Land Use



Legend

- North Corridor Option 1
- North Corridor Option 2
- South Corridor Option 1
- South Corridor Option 2

Land Classification

Prime Quality Agricultural Land

- 1
- 2
- 3.1

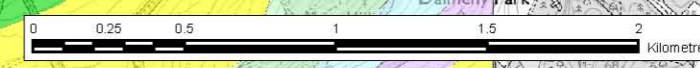
Non-prime Agricultural Land

- 3.2
- 4.1
- 4.2
- 5.1
- 5.2
- 5.3
- 6.1
- 6.2
- 6.3
- 7

Land not classified as Agriculture by MLURI

- Built-up area
- Inland water
- Uncoded islands

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TRANSPORT SCOTLAND

An agency of The Scottish Government

JACOBS ARUP

Project

FORTH REPLACEMENT CROSSING

Drawing title

Agricultural Land Use

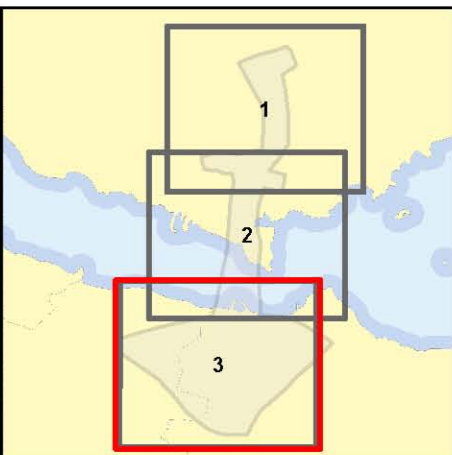
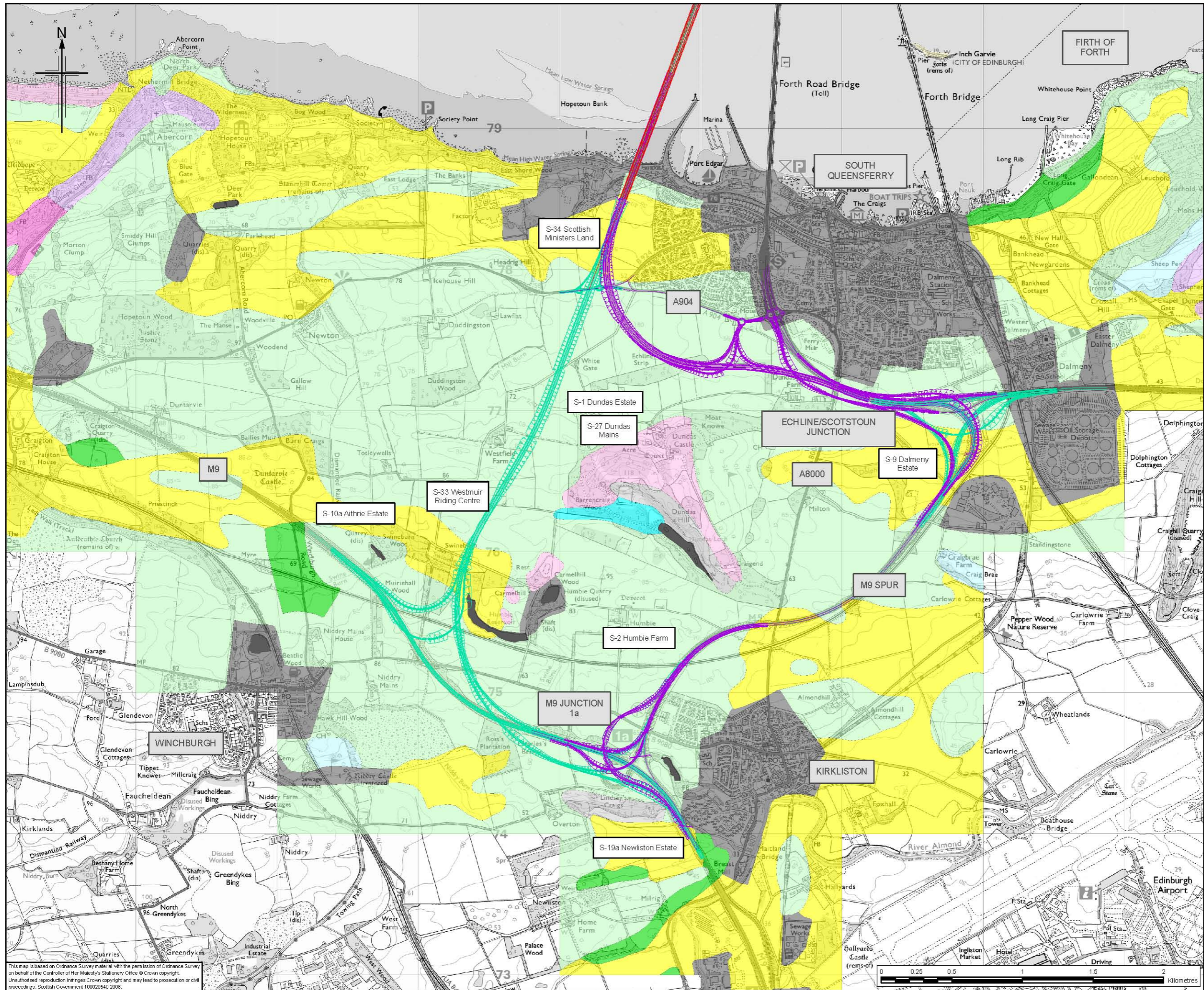
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Client no. RD001675

Drawing number **FIGURE 6.1b** Rev 0

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Legend

- North Corridor Option 1
- North Corridor Option 2
- South Corridor Option 1
- South Corridor Option 2

Land Classification

Prime Quality Agricultural Land

- 1
- 2
- 3.1

Non-prime Agricultural Land

- 3.2
- 4.1
- 4.2
- 5.1
- 5.2
- 5.3
- 6.1
- 6.2
- 6.3
- 7

Land not classified as Agriculture by MLURI

- Built-up area
- Inland water
- Uncoded islands

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Project

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Drawing title

Agricultural Land Use

Drawing Status: FINAL

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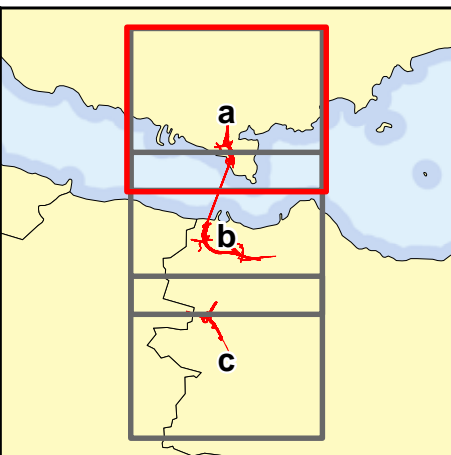
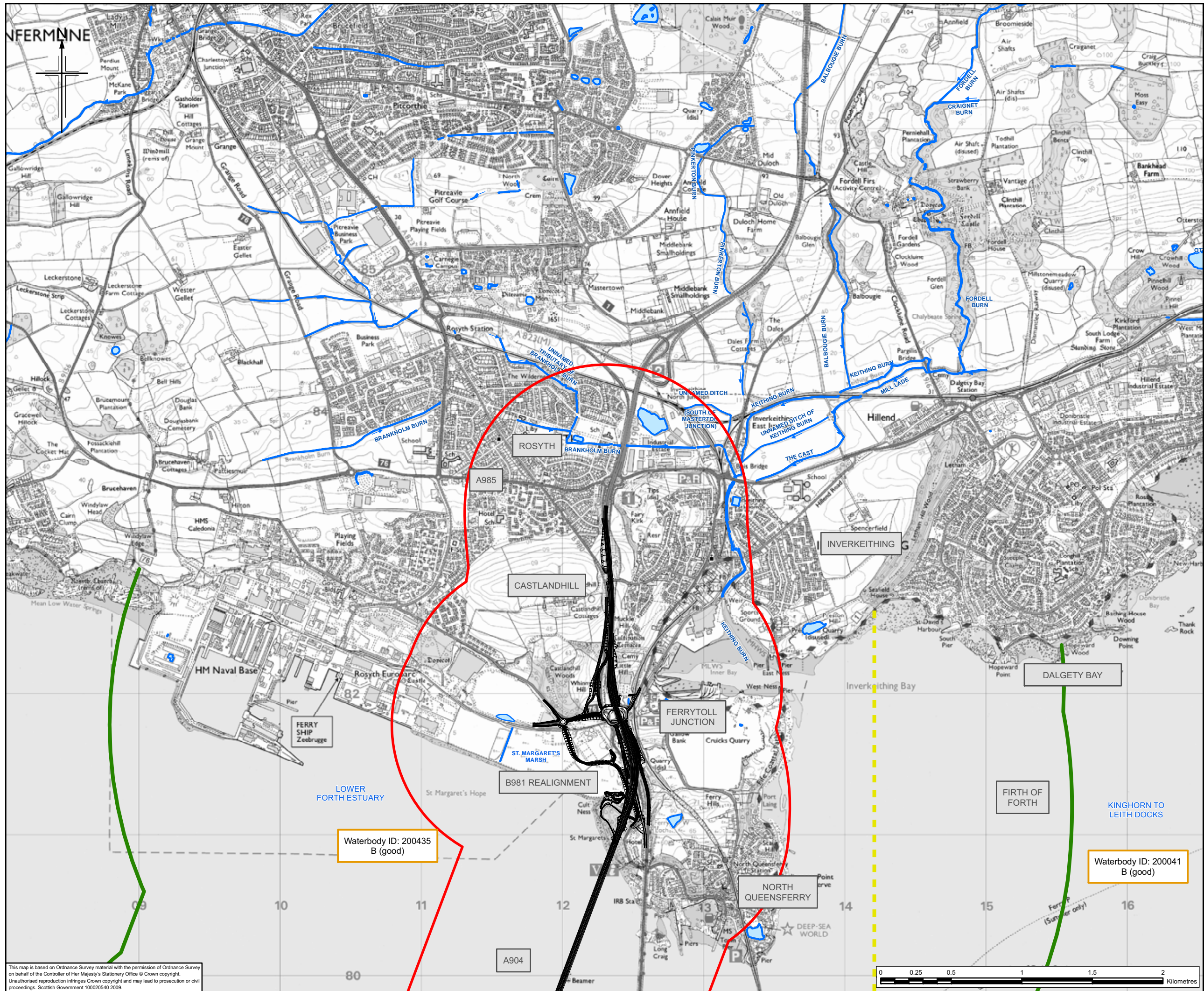
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Appendix 2 – Water Features



- Legend**
- Proposed scheme (Stage 3 design)
 - Water flow direction
 - Watercourses
 - Waterbodies
 - 1km study area
 - 3km study area
 - SEPA division between estuarine and coastal waterbody
- SEPA Classifications**
- SEPA river water quality classification
 - SEPA waterbody ID and coastal/estuarine water quality classification

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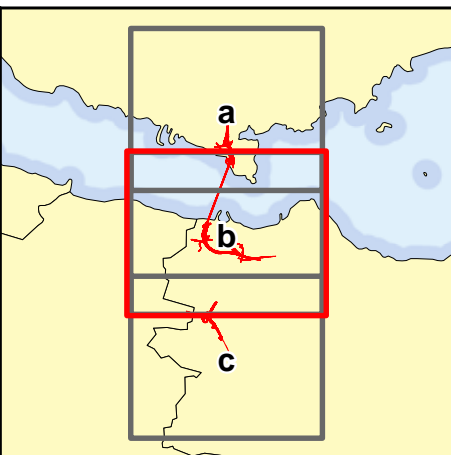
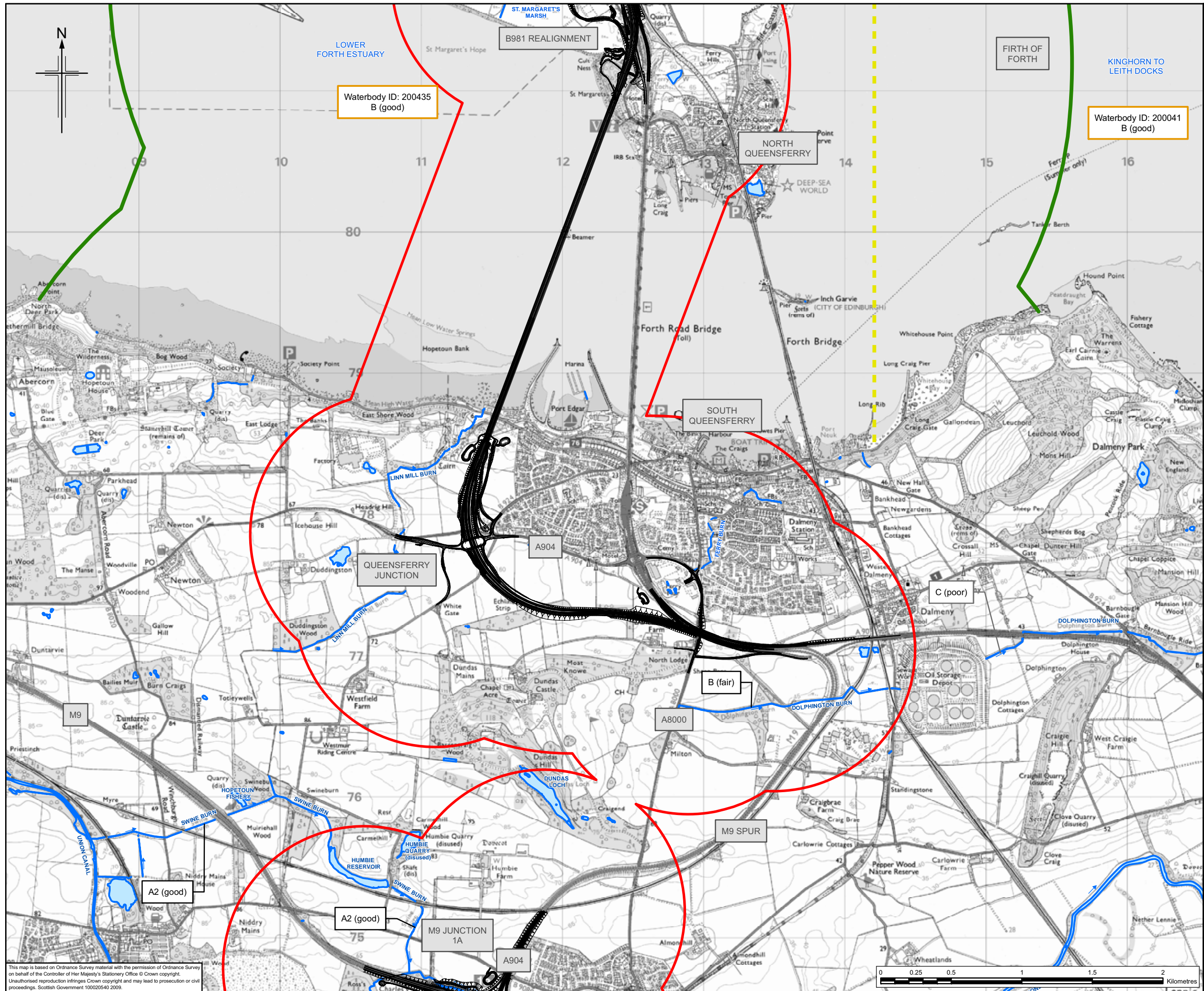
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Project
FORTH REPLACEMENT CROSSING
Environmental Statement

Drawing title
Water Features

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Client no.	RD001675	
Drawing number	FIGURE 9.1a	Rev 0

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Legend

- Proposed scheme (Stage 3 design)
- Water flow direction
- Watercourses
- Waterbodies
- 1km study area
- 3km study area
- SEPA division between estuarine and coastal waterbody

SEPA Classifications

- C (poor) SEPA river water quality classification
- Waterbody ID: 200435 B (good) SEPA waterbody ID and coastal/estuarine water quality classification

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Project
FORTH REPLACEMENT CROSSING
Environmental Statement

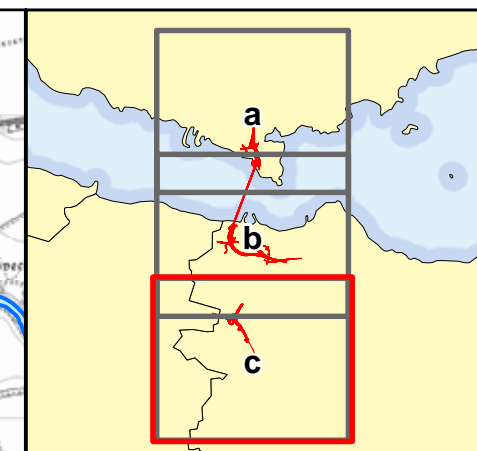
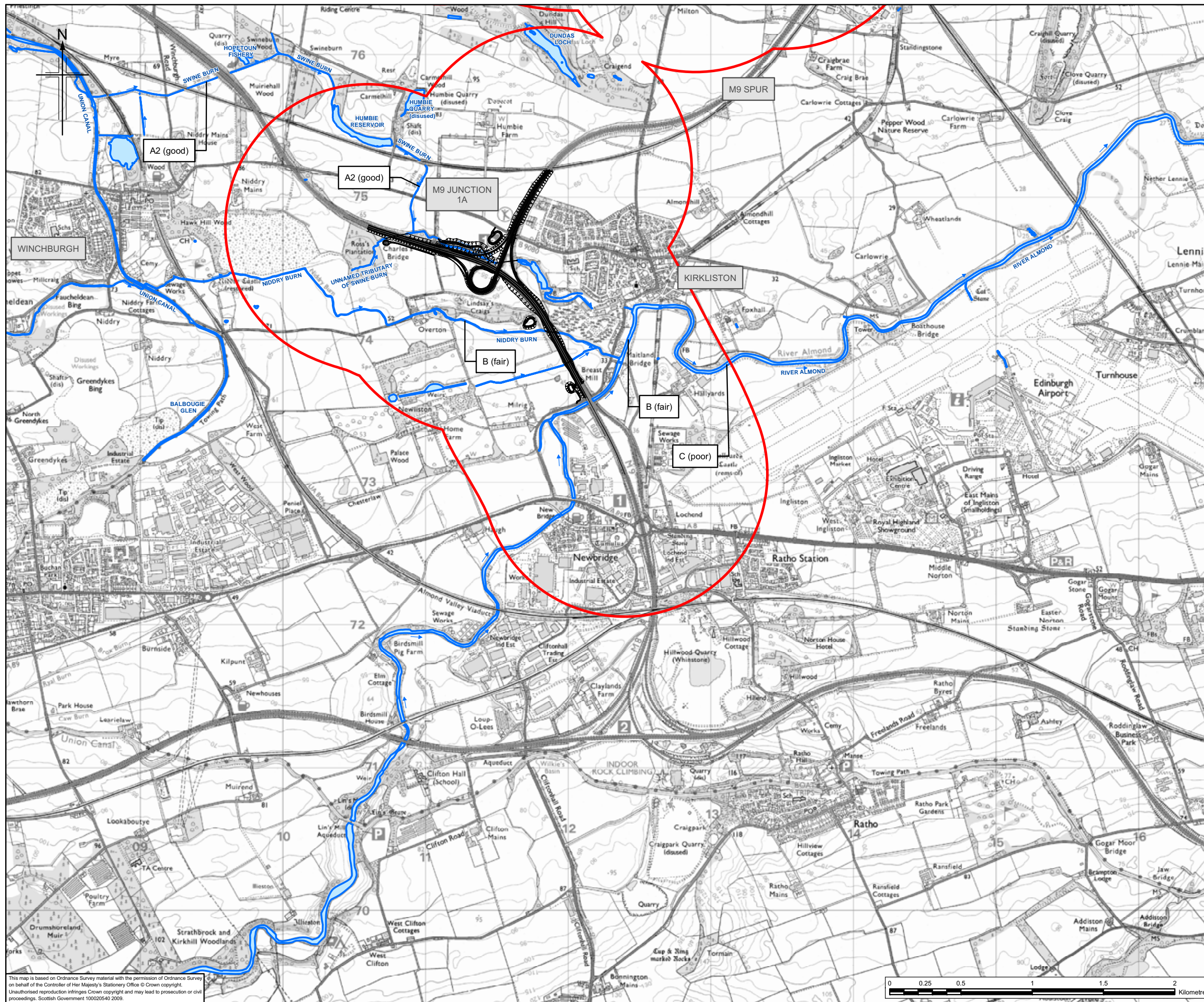
Drawing title
Water Features

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Drawing number	FIGURE 9.1b	Rev 0

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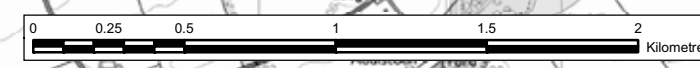
Legend

- Proposed scheme (Stage 3 design)
- Water flow direction
- Watercourses
- Waterbodies
- 1km study area
- 3km study area
- SEPA division between estuarine and coastal waterbody

SEPA Classifications

- C (poor) SEPA river water quality classification
- Waterbody ID: 123456 C (poor) SEPA waterbody ID and coastal/estuarine water quality classification

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Drawing title
Water Features

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Client no. RD001675

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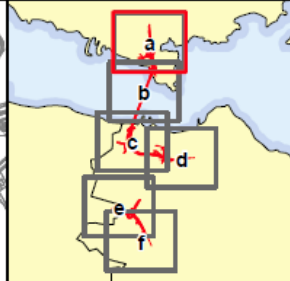
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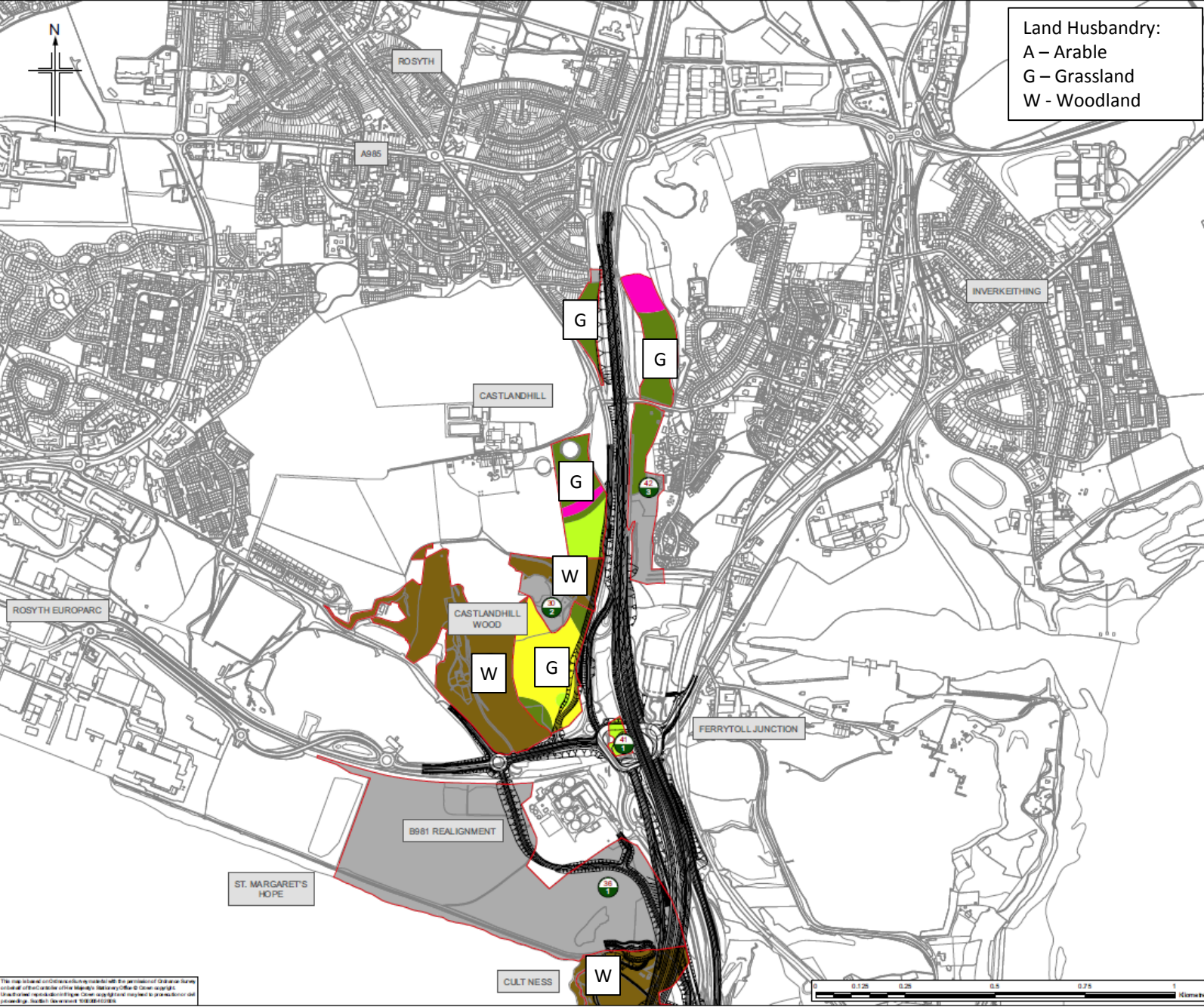
Appendix 3 – Land Husbandry

Land Husbandry:
 A – Arable
 G – Grassland
 W – Woodland



Legend

- Proposed scheme (Stage 3 design)
- Land interest number (red), field number (white)
- Land ownership areas
- 2
- 3.1
- 3.2
- 5.1
- 5.2
- Land not classified by MLURI
- Woodland



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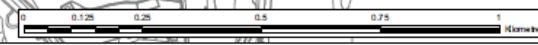
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 Environmental Statement

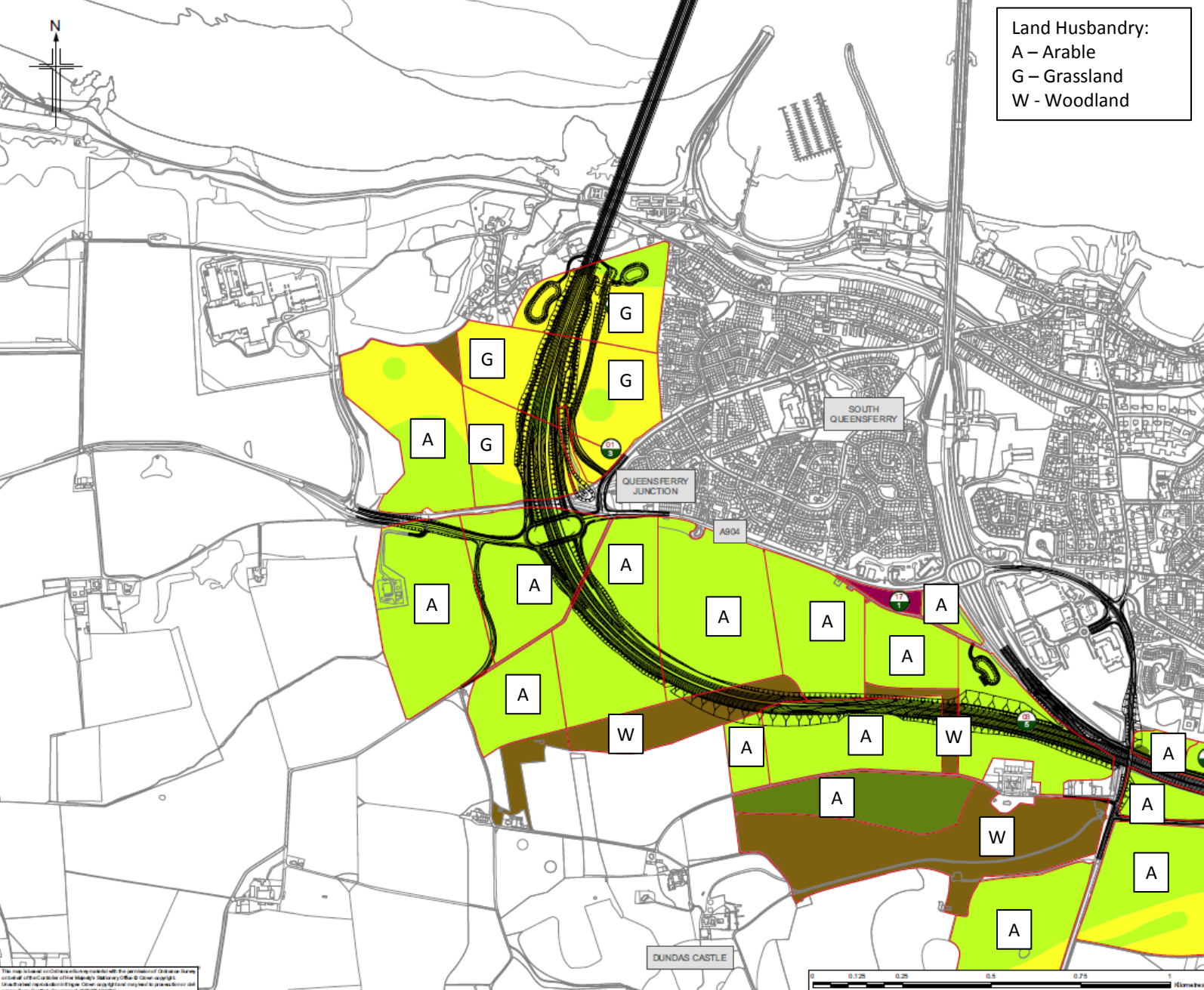
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Drawing number	FIGURE 7.1a
Rev	0

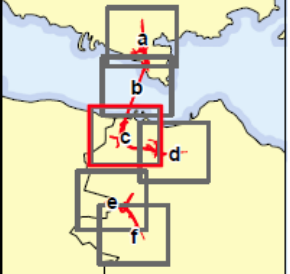
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Land Husbandry:
 A – Arable
 G – Grassland
 W – Woodland



Legend

- Proposed scheme (Stage 3 design)
- Land interest number (red), field number (white)
- Land ownership areas
- 2
- 3.1
- 3.2
- 5.1
- 5.2
- Land not classified by MLURI
- Woodland

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Project: **FORTH REPLACEMENT CROSSING Environmental Statement**

Drawing title: **Agricultural Land Use**

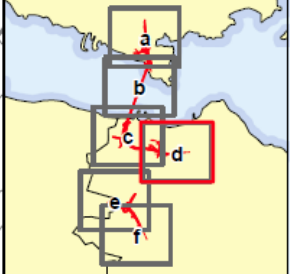
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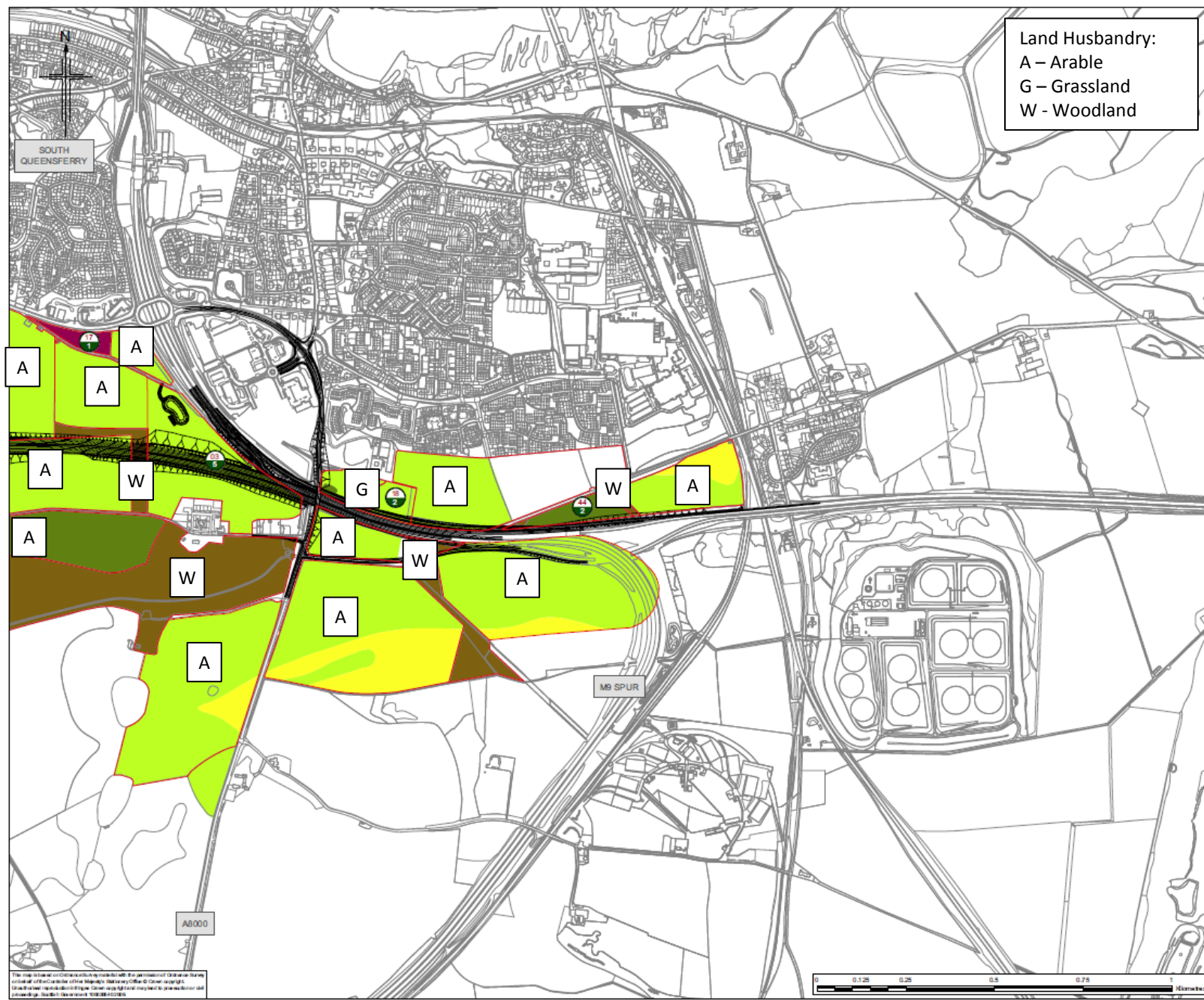
Land Husbandry:
 A – Arable
 G – Grassland
 W – Woodland

SOUTH QUEENSFERRY

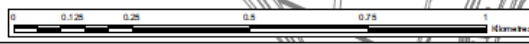



Legend

- Proposed scheme (Stage 3 design)
- Land interest number (red), field number (white)
- Land ownership areas
- 2
- 3.1
- 3.2
- 5.1
- 5.2
- Land not classified by MLURI
- Woodland



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 Drawing title: Agricultural Land Use
 Drawing Status: FINAL
 Scale: 1:10,000 @ A3 DO NOT SCALE
 Client no: RDM01075
 Drawing number: **FIGURE 7.1d** Rev: 0
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Appendix 4 – Temporary Land Made Available Register

Forth Replacement Crossing
Temporary LMA Register - South Network
FCBC / CR1 / Temp LMA / 121211

Plot No.	LandownerName	Landowner Address	Leases	Occupiers	Trustees	Anticipated Entry Date	Anticipated Vacation Date	Date of Land Inspection
947	M J Floydd	Saffery Champness, Edinburgh Quay, 133 Fountainbridge, Edinburgh EH3 9BA		Dundas Castle Farm c/o Seed &Co., Cothill Duns, Berwickshire, TD10 6YW	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	
947	J G White	Whiteley Chambers, Don Street, St. Helier, Jersey JE4 9WG		Dundas Castle Farm c/o Seed &Co., Cothill Duns, Berwickshire, TD10 6YW	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	
840	N A Primrose, The Earl of Rosebery	Dalmeny Estate Office, Dalmeny House. South Quensferry, EH30 9TQ		Owner		Nov-11	End 2013	Jan-12
1151	Unknown			Occupied by the City of Edinburgh Council as local roads authority. Interest not being acquired.		Oct-13	May-14	
825, 940, 955	Taylor Wimpey UK Limited	Company No. 01392762, Second Floor Beech House, 551 Avebury Boulevard, Milton Keynes, MK9 3DR		Owner		Jan-12	End 2016	Jan-12
829, 957, 937	AWG Residential Limited	Company Number SC082292, 47 Melville Street, Edinburgh, EH3 7HL		A R Grieve - Carlhurlie Farm, Lundin Links, Fife, KY8 5QE		Jan-12	End 2016	Jan-12
829, 957, 937	Taylor Wimpey Developments Limited	Company Number 00643420 80 New Bond Street London UK W1S1SB		A R Grieve - Carlhurlie Farm, Lundin Links, Fife, KY8 5QE		Jan-12	End 2016	Jan-12
831	City of Edinburgh Council	City Chambers, High Street, Edinburgh, EH1 1YJ		Owner		Jan-12	End 2016	Jan-12
843	N A Primrose, The Earl of Rosebery	Dalmeny Estate Office, Dalmeny House. South Quensferry, EH30 9TQ		Owner		Feb-14	End 2016	
811	Network Rail Infrastructure Limited	Comp. No. 02904587, Kings Place, 90 York Way, London N1 9AG		Owner		Feb-14	End 2016	
905, 944, 946	M J Floydd	Saffery Champness, Edinburgh Quay, 133 Fountainbridge, Edinburgh EH3 9BA		905- Dundas Castle Estate c/o Seed & Co Cothill Duns Berwickshire TD10 6YW. 944 & 946 - Occupied by The City Edinburgh Council as local roads authority. Interest not being acquired.	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	

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Plot No.	LandownerName	Landowner Address	Leases	Occupiers	Trustees	Anticipated Entry Date	Anticipated Vacation Date	Date of Land Inspection
905, 944, 946	J G White	Whiteley Chambers, Don Street, St. Helier, Jersey JE 9WG		905- Dundas Castle Estate c/o Seed & Co Cothill Duns Berwickshire TD10 6YW. 944 & 946 - Occupied bty The City Edinburgh Council as local roads authority. Interest not being acquired.	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	
945	Unknown	N/A		Occupied by the City of Edinburgh Council as local Roads Authority. Interest not being aquired.		Feb-14	Jun-15	
1117	Unknown	N/A		Occupied by the City of Edinburgh Council as local Roads Authority. Interest not being aquired.		Jan-12	Jan-13	Jan-12
964	M J Floydd	Saffery Champness, Edinburgh Quay, 133 Fountainbridge, Edinburgh EH3 9BA		Dundas Castle Estate c/o Seed &Co., Cothill Duns, Berwickshire, TD10 6YW	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	
964	J G White	Whiteley Chambers, Don Street, St. Helier, Jersey JE 9WG		Dundas Castle Estate c/o Seed &Co., Cothill Duns, Berwickshire, TD10 6YW	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	
1029	The City of Edinburgh Council	City Chambers, High Street, Edinburgh, EH1 1YJ		Occupied by the City of Edinburgh Council as local Roads Authority. Interest not being aquired.		Dec-11	End 2016	Jan-12
1054	Unknown			Occupied by the City of Edinburgh Council as local Roads Authority. Interest not being aquired.		Dec-11	End 2016	Jan-12
1143	The City of Edinburgh Council	City Chambers, High Street, Edinburgh, EH1 1YJ		Occupied by the City of Edinburgh Council as local Roads Authority. Interest not being aquired.		Oct-13	May-14	
978	M J Floydd	Saffery Champness, Edinburgh Quay, 133 Fountainbridge, Edinburgh EH3 9BA		City of Edinburgh Council	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd known as the Danzan 2003 trustees.	Feb-14	Jun-15	
978	J G White	Whiteley Chambers, Don Street, St. Helier, Jersey JE 9WG		City of Edinburgh Council	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd known as the Danzan 2003 trustees.	Feb-14	Jun-15	
903, 965	Unknown	N/A		Dundas Castle Estate c/o Seed &Co., Cothill Duns, Berwickshire, TD10 6YW		Feb-14	Jun-15	
936	M J Floydd	Saffery Champness, Edinburgh Quay, 133 Fountainbridge, Edinburgh EH3 9BA		1. Owners 2. Ogier Trustee (jersey Limited), Whitely Chambers, Don Street St Helier, Jersey, JE4 9WG & J G White Whitely Chambers Don Street St Hrlie Jersey JE4 9WG & S A Meiklejohn, Whitely Chambers, Don Street, St. Helier, Jersey, JE4 9WG 3. Sir J Stewart-Clark, Dundas Castle, South Queensferry, EH90 9SP 4. Dundas Castle Estate c/o Seed & Co., Cothill, Duns, Berwickshire TD10 6YW 5. The Occupier, Courtyard Cottage, SouthQueensferry, EH30 9SP 6. M Twaddle, North Lodge, Dundas Estate, South Queensferry, EH30 9SP	As trustees under declaration of trust by Sir J Stewart-Clark and M J Floydd	Feb-14	Jun-15	

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Plot No.	LandownerName	Landowner Address	Leases	Occupiers	Trustees	Anticipated Entry Date	Anticipated Vacation Date	Date of Land Inspection
936	J G White	Whiteley Chambers, Don Street, St. Helier, Jersey JE 9WG		1. Owners (jersey Limited), Whitely Chambers, Don Street St Helier, Jersey, JE4 9WG & J G White 2. Ogier Trustee Whitely Chambers Don Street St Hrlier Jersey JE4 9WG & S A Meiklejohn, Whitely Chambers, Don Street, St. Helier, Jersey, JE4 9WG 3. Sir J Stewart-Clark, Dundas Castle, South Queensferry, EH90 9SP 4. Dundas Castle Estate c/o Seed & Co., Cothill, Duns, Berwickshire TD10 6YW 5. The Occupier, Courtyard Cottage, SouthQueensferry, EH30 9SP 6. M Twaddle, North Lodge, Dundas Estate, South Queensferry, EH30 9SP	As trustees under declaration of trust by Sir J Stweart-Clark and M J Floydd	Feb-14	Jun-15	
943	Forth Birdges Business Park Developments Limited	Company No. 06006178, Millshaw Leeds, West Yorkshire LS11 8EG		Owner		Feb-14	End 2016	
1113	S N M Bowbly	Society House, South Queensferry, EH30 9SL		Occupied by City of Edinburgh Council as local roads authority. Interest not being aquired.		Jan-12	Jan-13	Jan-12
1176, 1177	S N M Bowbly	Society House, South Queensferry, EH30 9SL		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW		Mar-12	May-14	
1116	S N M Bowbly	Society House, South Queensferry, EH30 9SL		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW		Jan-12	Jan-13	Jan-12
1130, 1139	S N M Bowbly	Society House, South Queensferry, EH30 9SL		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Jan-12	End 2016	Jan-12
1179, 1123, 1178	S N M Bowbly	Society House, South Queensferry, EH30 9SL		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Aug-13	Mar-14	
1130, 1139	A R Trotter	Chesterhall, Duns, Berwickshire, TD11 3RE		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Jan-12	End 2016	Jan-12
1179, 1123, 1178	A R Trotter	Chesterhall, Duns, Berwickshire, TD11 3RE		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Aug-13	Mar-14	
1130, 1139	S A Leslie, WS	5 Atholl Crescent, Edinburgh, EH3 8EJ		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Jan-12	End 2016	Jan-12
1179, 1123, 1178	S A Leslie, WS	5 Atholl Crescent, Edinburgh, EH3 8EJ		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Aug-13	Mar-14	
1130, 1139	R A Teacher	George Cottage, Gifford, EH41 4QT		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Jan-12	End 2016	Jan-12
1179, 1123, 1178	R A Teacher	George Cottage, Gifford, EH41 4QT		Dundas Castle Farm c/o Seeds & Co., Cothill, Duns, Berwickshire, TD10 6YW	As Trustees under deed of trust by SNM Bowlby	Aug-13	Mar-14	
1156, 1158	Scottish Water Limited	Company No. SC207004, Castle House, 6 Castle Drive, Carnegie Campus, Dunfermline, Fife, KY11 8GG		1. Owner Limited, Company No. SC189125, 1 Atlantic Quay, Robertson Street, Glasgow, G2 8SP 2. SP Distribution		Jan-12	Jan-13	Jan-12

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Plot No.	LandownerName	Landowner Address	Leases	Occupiers	Trustees	Anticipated Entry Date	Anticipated Vacation Date	Date of Land Inspection
1155, 1157, 1159	Scottish Water Limited	Company No. SC207004, Castle House, 6 Castle Drive, Carnegie Campus, Dunfermline, Fife, KY11 8GG		Owner		Jan-12	Jan-13	Jan-12
1101	Unknown	N/A		Occupied by West Lothian Council as local roads authority. Interest not being aquired.		Mar-12	May-14	
1102	SQ3 Limited	Company No. 004416359, c/o Miller, 28 Dover Street, London, W1S 4NA		1. Owner Group Limited, Compnay No. 00101073, Fourth Floor, 130 Wilton Road, London, SW1V 1LQ 2. Balfour Beatty 3. Occupied by West Lothian Council as local roads authority. Interest not being aquired.		Mar-12	May-14	
1136, 1142	SQ3 Limited	Company No. 004416359, c/o Miller, 28 Dover Street, London, W1S 4NA		Occupied by West Lothian Council as local roads authority. Interest not being aquired.		Mar-12	May-14	
1133	SQ3 Limited	Company No. 004416359, c/o Miller, 28 Dover Street, London, W1S 4NA		1. Owner Limited, Company No. 00101073, Forth Floor, 130 Wilton Road, London, SW1V 1LQ 2. Balfour Beatty Group		Mar-12	May-14	
1122	SQ3 Limited	Company No. 004416359, c/o Miller, 28 Dover Street, London, W1S 4NA		Owner		Mar-12	May-14	
1243	Holly House Limited	Company No. 02464517, 57 London Road, Enfield Middlesex, EN2 6SW	<p>1. L Herriot, Flat A, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>2. D Marsden, Flat B, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>3. B A Thallon & D L Leach, Flat D, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>4. S Morris, Flat F, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>5. R Milligan & A Fraser, Flat G, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>6. J Roskosh, Flat H, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p> <p>7. K Huttenhain & V Maya, Flat K, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ</p>	<p>1. Owner - Scottish Ministers Lessee Limited, Company No. 04256285, 57 London Road, Enfield, Middlesex, EN2 6SW</p> <p>2. 3. Jupiter Nominees</p>		Dec-11	End 2016	Jan-12

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Plot No.	LandownerName	Landowner Address	Leases	Occupiers	Trustees	Anticipated Entry Date	Anticipated Vacation Date	Date of Land Inspection
1293, 1294	Jupiter Nominees Limited	Company No. 04256285, 57 London Road, Enfield, Middlesex, EN2 6SW	1. L Herriot, Flat A , Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 2. D Marsden , Flat B, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 3. B A Thallon & D L Leach , Flat D, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 4. S Morris, Flat F , Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 5. R Milligan & A Fraser, Flat G , Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 6. J Roskosh, Flat H , Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ 7. K Huttenhain & V Maya , Flat K, Inchgarvie House, Hopetoun Road, South Queensferry, EH30 9SJ	1. Owner - Scottish Ministers 2. Lessees		Dec-11	End 2016	Jan-12
1209, 1236	Holly House Limited	Company No. 02464517, 57 London Road, Enfield Middlesex, EN2 6SW		Owner - Scottish Ministers		Dec-11	End 2016	Jan-12

Appendix 5 – Programme of Accommodation Works

Reference Number	Requirements	Date
1/1	Provide approximately 368 linear metres of steel angle post and 3 barbed wire security fence to match existing. To be tied into existing fence at both ends	Complete.
1/2	Relocate existing gate (if required by the Works).	Complete.
2/1	Provide approximately 291 linear metres of Rylock (or equivalent) fence with 3 plain wires and single barb top wire to drawing number FRC/J/434/CD/010. To be tied into gate reference 2/3 at north end and existing fence at south end.	Complete.
2/2	Provide approximately 300 linear metres of Rylock (or equivalent) fence with 3 plain wires and single barb top wire to drawing number FRC/J/434/CD/010. To be tied into gate reference 2/4 at south end and existing fence at north end.	complete
2/3	Provide 4.95 metres wide steel extra wide single field gate to drawing number H19, Volume 3 of the MCHW.	12/16
2/4	Provide 4.95 metres wide steel extra wide single field gate to drawing number H19, Volume 3 of the MCHW.	12/16
2/5	Provide approximately 11 linear metres of stone wall to match existing (if required by the Works. To be tied into wall reference 2/6 at east end and terminate at west end.	12/2016
2/6	Provide approximately 20 linear metres of stone wall to match existing. To be tied into wall reference 2/5 at south end and wall reference 2/7 at north end.	12/2016
2/7	Provide approximately 21 linear metres of stone wall and entrance splay to match existing. To be tied into gate reference 2/4 at west end and wall reference 2/6 at east end.	12/2016
2/8	Provide approximately 14 linear metres of stone wall and entrance splay to match existing. To be tied into gate reference 2/4 at west end and fence reference 2/2 at east end.	12/2016
2/9	Provide approximately 86 linear metres of Rylock (or equivalent) fence with 3 plain wires and single barb top wire to drawing number FRC/J/434/CD/010. To be tied into gate reference 2/3 at south end and wall reference 2/5 at north end.	12/2016
3/1	Provide approximately 26 linear metres of 1 metre high wall to match existing. To be tied into scheme boundary treatment at east end and into existing wall at west end.	2016
4/1	Provide approximately 325 linear metres of 1.8 metres high Zaun Fencing Systems 'Gemini Wave' fence to match existing fence. To be tied into existing fence at both ends. Contractor shall provide drawings, method statements and risk assessments relating to the provision of accommodation works to the landowner and/or their representatives as part of the process required by Section 2.7.2 of Part A1. Any part of the existing fence which is out with the extent to be replaced which is damaged due to the Works shall be replaced to the satisfaction of the landowner.	After project completion.

5/1	Provide approximately 140 linear metres of steel palisade fence to match existing. To be tied into adjoining fence at both ends.	11/2016
6/1	Provide approximately 49 linear metres of rabbit proof post and wire fence to drawing number FRC/J/434/CD/003. To be tied into existing fence at east end and existing wall at west end.	Complete
6/2	Provide 4.50 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW. (Jointly owned by Dundas Estate).	Complete
6/3	Provide approximately 114 linear metres of rabbit proof post and wire fence with top strand barbed to drawing FRC/J/434/CD/007. To be tied into gate reference 6/6 at south end and scheme boundary fence at north end.	12/2016
6/4	Provide approximately 238 linear metres of rabbit proof post and wire fence with top strand barbed to drawing FRC/J/434/CD/007. To be tied into fence reference 6/5 at east end and gate reference 6/6 at west end.	12/2016
6/5	Provide approximately 53 linear metres of rabbit proof post and wire fence with top strand barbed to drawing FRC/J/434/CD/007. To be tied into scheme boundary fence at north end and fence reference 6/4 at south end.	12/2016
6/6	Provide 4.95 metres wide steel extra wide single field gate to drawing number H19, Volume 3 of the MCHW.	12/2016
7/1	Provide approximately 5 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied into scheme boundary fence at south end and into gate reference 7/2 at north end.	Complete
7/2	Provide 3.60 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW.	12/2016
7/3	Provide approximately 93 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied into gate reference 7/2 at south end and existing fence at north end.	12/2016
8/1	Provide approximately 459 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied into existing fence at south end and scheme boundary treatment at north end.	Complete
8/2	Provide approximately 40 linear metres of post and wire fence with 150 millimetres square mesh to drawing FRC/J/434/CD/008. To be tied into scheme boundary fence at east end and existing fence at west end.	12/2016
8/3	Provide approximately 343 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied into existing fence at south end and scheme boundary treatment at north end.	Complete
8/4	Provide 4.50 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW.	12/2016
8/5	Not used.	
8/6	Provide 4.50 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW.	12/2016
8/7	Provide approximately 103 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied	12/2016

	into existing fence at west end and into gate reference 8/6 at east end.	
8/8	Provide 4.50 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW. (Jointly owned by AWG Residential Ltd / Taylor Wimpey Developments Ltd).	12/2016
9/1	Provide 4.50 metres wide steel single field gate to drawing number H17, Volume 3 of the MCHW.	12/2016
9/2	Provide 4.95 metres wide steel extra wide single field gate to drawing number H19, Volume 3 of the MCHW.	12/2016
10/1	Provide 4.95 metres wide steel extra wide single field gate to drawing number H19, Volume 3 of the MCHW.	12/2016
10/2	Provide approximately 280 linear metres of rabbit proof post and wire fence to drawing FRC/J/434/CD/003. To be tied into existing fence at east end and fence reference 10/3 at west end.	12/2016
10/3	Provide approximately 78 linear metres of rabbit proof post and wire to drawing FRC/J/434/CD/003. To be tied into fence reference 10/2 at north end and gate reference 10/1 at south end.	12/2016
10/4	Provide approximately 45 linear metres of rabbit proof post and wire to drawing FRC/J/434/CD/003. To be tied into gate reference 10/1 at north end and existing fence at south end.	12/2016
11/1	Not used.	
11/2	Provide approximately 27 linear metres of 375 millimetres diameter piped carrier drain to connect accommodation works manhole 11/9 into the road drainage network. The landowner has confirmed that the drain shall be set as deep as possible, the fall of the pipe shall not exceed 1 in 300 and that the discharge invert shall be at the same level as the invert of the 1200 millimetre outfall pipe which passes below the A90 or its replacement.	Complete.
11/3	Provide approximately 256 linear metres of piped filter drain to replace existing 150 millimetres diameter filter drain that runs parallel to the existing A90. The new piped filter drain shall accommodate any existing field drains that currently discharge into, or are connected to, the aforementioned 150 millimetres diameter drain and shall be designed to take account of climate change. Trench and bedding details for the new piped drain shall be Type M as per Highway Construction Detail F2 contained within the Manual of Contract Documents for Highway Works Volume 3. The new piped filter drain will connect into accommodation works manhole reference 11/9.	Complete.
11/4	Provide approximately 380 linear metres of piped filter drain to replace existing 150 millimetres diameter filter drain that runs parallel to the existing A90/M9 Spur. The new piped filter drain shall accommodate any existing field drains that currently discharge into, or are connected to, the aforementioned 150 millimetres diameter drain and shall be designed to take account of climate change. Trench and bedding details for the new piped drain shall be Type M as per Highway Construction Detail F2 contained within the	12/2016

	Manual of Contract Documents for Highway Works Volume 3. The landowner has confirmed that the eastern end of the new piped filter drain shall bend northwards through a 30 degree formed joint in a 150 millimetre twinwall pipe to connect into the existing accommodation works manhole installed as part of the M9 Spur Project. The section of the pipe between the bend and the existing accommodation works manhole shall be a sealed pipe.	
11/5	Not used.	
11/6	Provide approximately 230 linear metres of piped filter drain to replace existing filter drain that runs parallel to the existing A90. The new piped filter drain shall accommodate any existing field drains that currently discharge into, or are connected to, the aforementioned drain and shall be designed to take account of climate change. Trench and bedding details for the new piped drain shall be Type M as per Highway Construction Detail F2 contained within the Manual of Contract Documents for Highway Works Volume 3. The landowner has confirmed that the gradient of the drain can be as low as 1 in 400 to allow an appropriate outfall to be provided using accommodation works manhole 11/8. The landowner has confirmed that the western end of the new piped filter drain shall bend southwards through a 30 degree formed joint in a 150 millimetre twinwall pipe to connect into accommodation works manhole 11/8. The section of pipe between the bend and the existing accommodation works manhole shall be a sealed pipe.	Complete.
11/7	Provide approximately 8 linear metres of 225 millimetres diameter piped carrier drain to connect accommodation works manhole 11/8 into the road drainage network. The landowner has confirmed that the gradient of the drain can be as low as 1 in 400 to allow an appropriate outfall to be provided.	Complete.
11/8	Provide accommodation works manhole to connect filter drain reference 11/6 and carrier drain 11/7. The manhole shall be located as close to the permanent fence as possible within Dalmeny Estate land.	Complete.
11/9	Provide accommodation works manhole to connect filter drain reference 11/3 and carrier drain 11/2 along with an existing 9 inch fireclay pipe which will be severed due to the Works. The manhole shall be located approximately 10 linear metres from the permanent fence within Dalmeny Estate land. The landowner has confirmed that the manhole shall not be benched and shall be set as deep as possible to tie in with carrier pipe 11/2.	Complete.
12/1	Provide approximately 314 linear metres of post and wire fence to drawing H13, Volume 3 of the MCHW. To be tied into scheme boundary fence at south end and existing fence at north end.	12/2016
13/1	Provide approximately 100 linear metres of post and wire fence to drawing H13, Volume 3 of the MCHW. To be tied into existing fence at south end and wall reference 13/2 at north end.	Complete.



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13/2	Reinstate existing stone wall (if required by the Works).	complete
13/3	Reinstate existing stone wall (if required by the Works).	complete
14/1	Relocate existing Balfour Beatty Rail sign including lighting (if required by the Works).	12/2016
14/2	Relocate existing earthworks bund adjacent to the road (if required by the Works).	12/2016
15/1	Relocate existing stone wall (if required by the Works).	12/2016
16/1	Provide approximately 25 linear metres of 2 metres high treated timber palisade fence. Vertical timber boards to be approximately 125 millimetres wide with approximately 25 millimetres gap between boards. Posts to be provided as necessary with concrete footings.	complete
16/2	Provide landscaping works to replace trees, shrubs, hedge and lawn lost due to the temporary possession of the land. Landscaping to be agreed with landowner prior to Works commencing.	complete
17/1	Provide 185 linear metres of stone wall to match existing (if required by the Works).	12/2016
18/1	Provide 40 linear metres of stone wall to match existing (if required by the Works).	12/2016

*See additional drawings attached for plans



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